

LISTED 09/05/91

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Registration Form

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

1. Name of Property

historic name Hickmon, U.L., Hardware Store  
other names/site number Resource #WPHO478

2. Location

street & number Main and Second  not for publication N/A  
city, town Bradford  vicinity N/A  
state Arkansas code AR county White code 145 zip code 72020

3. Classification

Ownership of Property	Category of Property	Number of Resources within Property	
		Contributing	Noncontributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	<u>1</u>	<u>0</u> buildings
<input type="checkbox"/> public-local	<input type="checkbox"/> district	<u>    </u>	<u>    </u> sites
<input type="checkbox"/> public-State	<input type="checkbox"/> site	<u>    </u>	<u>    </u> structures
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure	<u>    </u>	<u>    </u> objects
	<input type="checkbox"/> object	<u>1</u>	<u>0</u> Total

Name of related multiple property listing:  
Historic and Architectural Resources of White County, Arkansas

Number of contributing resources previously listed in the National Register N/A

4. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this  nomination  request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property  meets  does not meet the National Register criteria.  See continuation sheet.

Cathryn A. Boyd  
Signature of certifying official  
Arkansas Historic Preservation Program  
State or Federal agency and bureau

5/3/80  
Date

In my opinion, the property  meets  does not meet the National Register criteria.  See continuation sheet.

\_\_\_\_\_  
Signature of commenting or other official  
\_\_\_\_\_  
Date

\_\_\_\_\_  
State or Federal agency and bureau

5. National Park Service Certification

I, hereby, certify that this property is:

entered in the National Register.  
 See continuation sheet.

determined eligible for the National Register.  See continuation sheet.

determined not eligible for the National Register.

removed from the National Register.

other, (explain:) \_\_\_\_\_

\_\_\_\_\_  
Signature of the Keeper

\_\_\_\_\_  
Date of Action

**6. Function or Use**

Historic Functions (enter categories from instructions)

Commerce/Trade/  
Specialty Store

Current Functions (enter categories from instructions)

Commerce/Trade/  
Specialty Store

**7. Description**

Architectural Classification  
(enter categories from instructions)

Other: Commercial Vernacular

Materials (enter categories from instructions)

foundation concrete

walls stucco

roof asphalt

other \_\_\_\_\_

Describe present and historic physical appearance.

**9. Major Bibliographical References**

See "Historic and Architectural Resources of White County, Arkansas," Section III.

**Previous documentation on file (NPS):**

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # \_\_\_\_\_
- recorded by Historic American Engineering Record # \_\_\_\_\_

See continuation sheet

**Primary location of additional data:**

- State historic preservation office
- Other State agency
- Federal agency
- Local government
- University
- Other

**Specify repository:**  
\_\_\_\_\_

**10. Geographical Data**

Acreege of property \_\_\_\_\_

**UTM References**

A      
Zone Easting Northing

B      
Zone Easting Northing

C

D

See continuation sheet

**Verbal Boundary Description**  
\_\_\_\_\_

See continuation sheet

**Boundary Justification**  
\_\_\_\_\_

See continuation sheet

**11. Form Prepared By**

name/title Jill Bayles, Historian  
organization Arkansas Historic Preservation Program date 21 March, 1990  
street & number 225 E Markham, Suite 300 telephone 501-371-2763  
city or town Little Rock state Arkansas zip code 72201

**8. Statement of Significance**

Certifying official has considered the significance of this property in relation to other properties:

nationally     statewide     locally

Applicable National Register Criteria     A     B     C     D

Criteria Considerations (Exceptions)     A     B     C     D     E     F     G

Areas of Significance (enter categories from instructions)

ARCHITECTURE  
COMMERCE

Period of Significance

1925 --  
1925-1939

Significant Dates

1925  
N/A

Cultural Affiliation

N/A

Significant Person

N/A

Architect/Builder

Calhoun, John

State significance of property, and justify criteria, criteria considerations, and areas and periods of significance noted above.

See continuation sheet

**United States Department of the Interior  
National Park Service****National Register of Historic Places  
Continuation Sheet**Section number 7 Page 1

---

Description

Commercial buildings of the Boom and Bust Era (1914-1939) usually mirrored current architectural trends. Builders during this period in White County did not construct many high-style buildings; they instead borrowed architectural details from these styles to elaborate their basically vernacular buildings. The U.L. Hickmon Hardware Store, however, is an exception to this. It was, and still is, clad with stucco instead of the customary brick.

Located on the north corner of Main and Second Streets, the U.L. Hickmon Hardware Store is located in what was once bustling downtown Bradford. The building is one-story tall, rectangular in shape, and constructed of reinforced concrete that was then covered with stucco. It was constructed in 1925, and is still in good condition. The storefront windows facing Main Street have been replaced by single-pane fixed frame windows but the arched transom lights above remain. A metal awning stretches the entire length of the facade. Fenestration along the east elevation of the building consists of six-pane awning windows that have six-pane fixed frame windows above and three-pane fixed frame windows below. A centrally located metal awning covered entry way separates the two windows. East of the doorway is a stucco clad chimney. The building's north elevation is free of any openings while the west elevation is connected to another commercial building. This structure has a flat roof with parapet.

**United States Department of the Interior  
National Park Service**

**National Register of Historic Places  
Continuation Sheet**

Section number 8 Page 1

---

Significance

When this building was constructed in 1925, it was one of several businesses located in the vicinity of Bradford's main intersection. The intersection of U.S. Highway 67 and Bradford's Main Street was located just one block west of the Missouri-Pacific Railroad Depot. Due to the sheer volume of traffic in this area, it was only natural that the bulk of the town's commercial activity was located here. The U.L. Hickmon Hardware Store is significant because it reflects this period of prosperity.

This store is also significant because of its building materials; it is one of only six commercial buildings left in White County that was originally clad with stucco. Also, it is one of just a handful of buildings left in the county that were constructed of reinforced concrete.

The man responsible for building this store was John Calhoun who built at least two other buildings in Bradford's commercial district. Calhoun was fond of using reinforced concrete as a building material. The other buildings that he constructed in town are also built of this material. Local legend has it that this building was constructed with half of a boxcar load, minus one shovel, of concrete.

Hickmon himself was very important to the people of Bradford. Because of numerous bank failures during the Depression, he served as the town's "banker". Townspeople were afraid to keep their money in banks because of these failures so instead they brought their money to Hickmon's store and kept it in his safe. The safe is still located in the store.

These are the reasons why this building is being nominated under both Criterion A and C with local significance.

United States Department of the Interior  
National Park Service

# National Register of Historic Places Continuation Sheet

Section number 10 Page 1

---

Acreage of property: Less than one

UTM References:

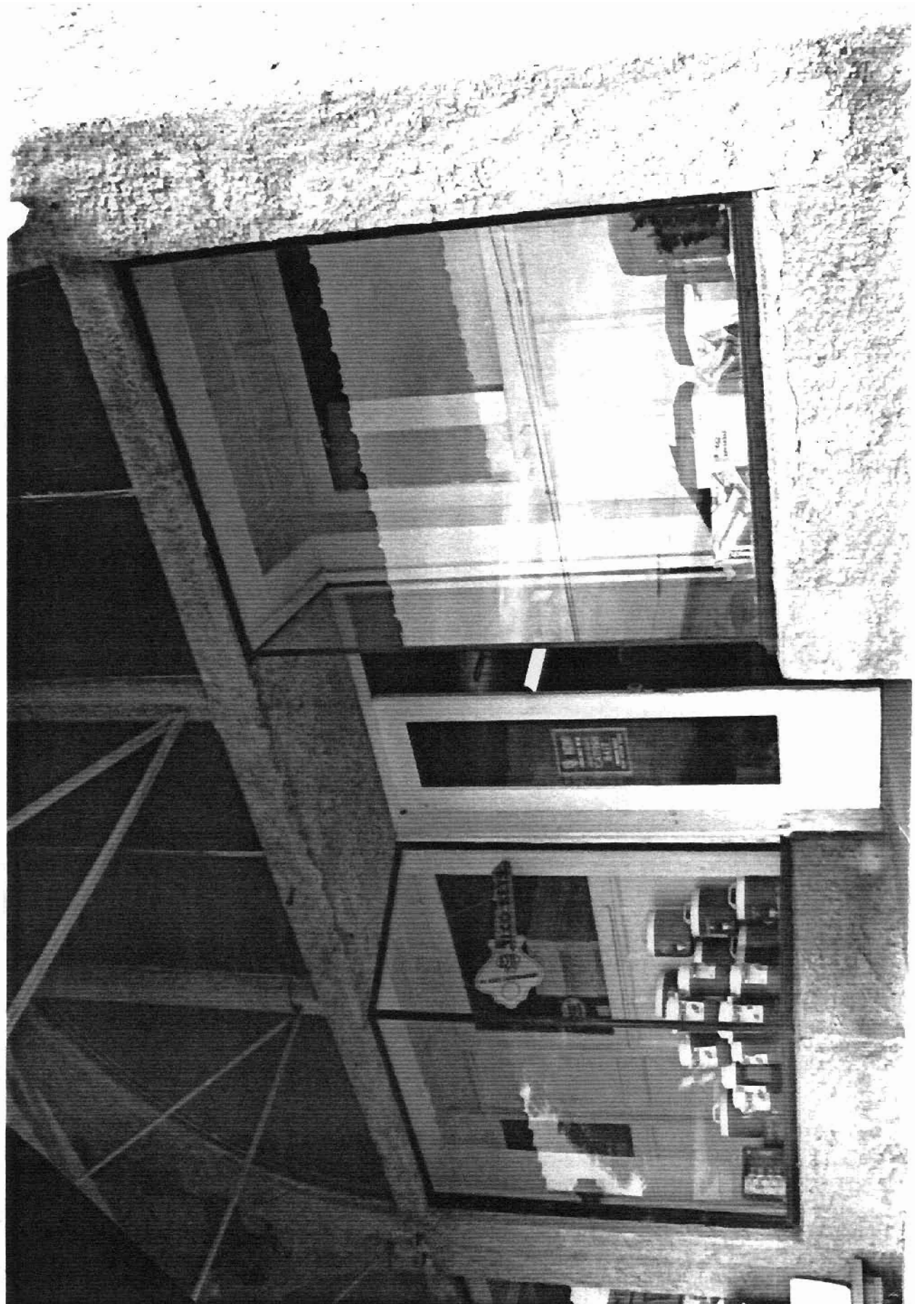
A 15/640200/3920920

Verbal Boundary Description:

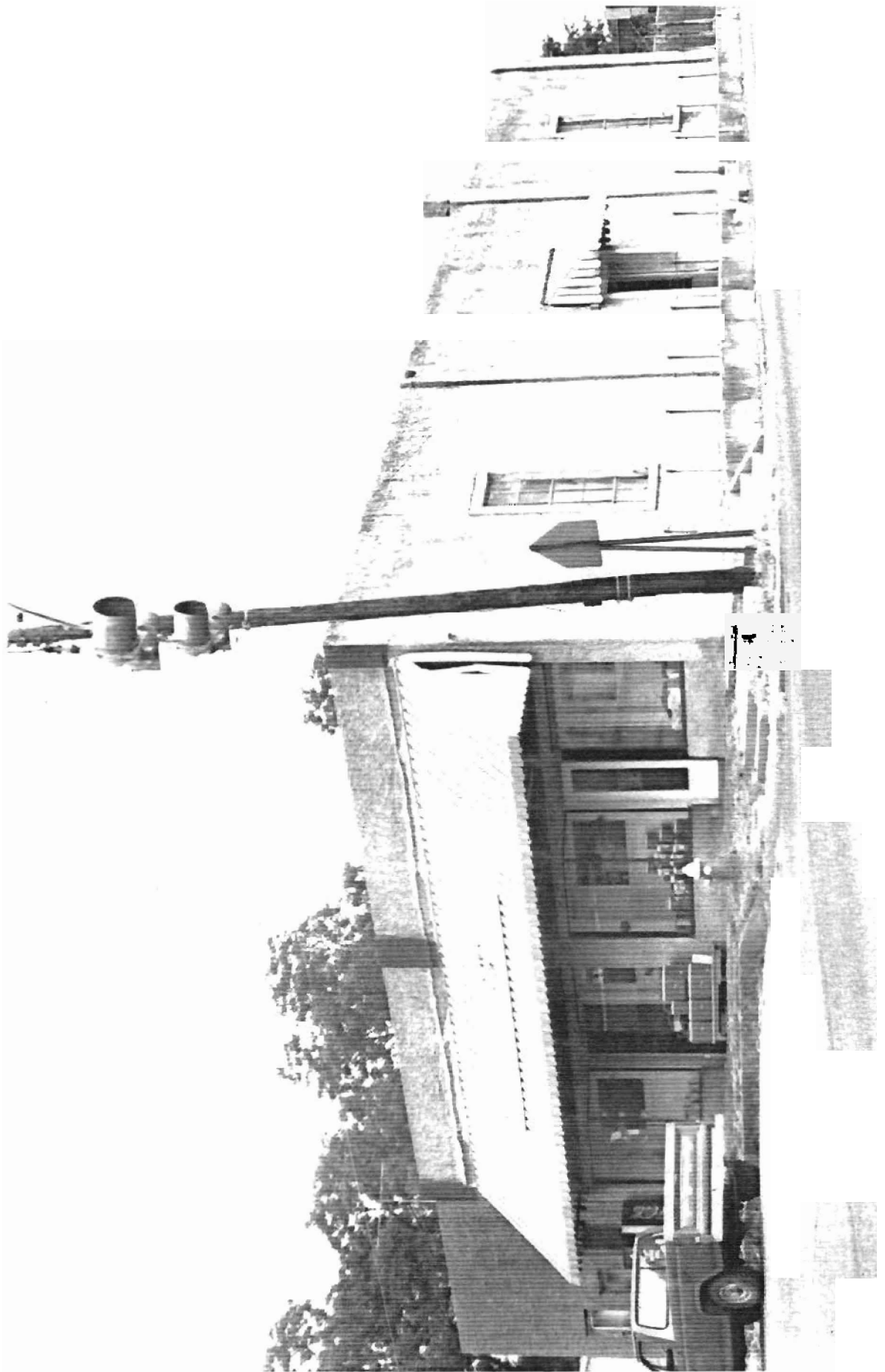
Lots 7 and 8, Block 13, Original Town of Bradford, Arkansas.

Boundary Justification:

This boundary includes all the property historically associated with this resource.







Historic and Architectural Resources  
of White County, Arkansas

White County, Arkansas

- Resource # WH0471: 15/639780/3921070  
WH0438: 15/640150/3920750  
WH0447: 15/639340/3921000  
WH0446: 15/639450/3920610  
WH0348: 15/641760/3920200  
WH0478: 15/640200/3920920  
WH0416: 15/640450/3920890  
WH0440: 15/640080/3921020

WH0435: 15/640330/3920870

Bradford Quadrangle

1:24000

